

Page 1: DRC Site Plan - Applicant Information Sheet

INSTRUCTIONS: The following information is requested pursuant to the City's Unified Land Development Regulations (ULDR). The application must be filled out accurately and completely. Please print or type and answer all questions. Indicate N/A if does not apply.

NOTE: To be filled out by Department

Case Number	
Date of complete submittal	

NOTE: For purpose of identification, the **PROPERTY OWNER** is the **APPLICANT**

Property Owner's Name	SWFA, LLC / SWFLB, LLC
Property Owner's Signature	If a signed agent letter is provided, no signature is required on the application by the owner.
Address, City, State, Zip	3020 NE 32 AVE SUITE 100 FORT LAUDERDALE FL 33308
E-mail Address	jellis@edi.cc
Phone Number	(954) 563-0550
Proof of Ownership	<input type="checkbox"/> Warranty Deed or <input checked="" type="checkbox"/> Tax Record

NOTE: If **AGENT** is to represent **OWNER**, notarized letter of consent is required

Applicant / Agent's Name	Nectaria M. Chakas, Esq./Lochrie & Chakas, P.A.
Applicant / Agent's Signature	<i>Nectaria Chakas</i>
Address, City, State, Zip	1401 E. Broward Blvd., Suite 303, Fort Lauderdale, FL 33301
E-mail Address	nchakas@lochrielaw.com
Letter of Consent Submitted	yes

Development / Project Name	1st Ave Residences
Development / Project Address	<u>Existing:</u> 117 SW 5 St., 417 SW 1 Ave., and <u>New:</u> 477 SW 1st Avenue 430 S Flagler Avenue
Legal Description	Parcel A and B, Mercury Plat, according to the plat thereof as recorded in Plat Book 154, page 40 of the public records of Broward County, Florida
Tax ID Folio Numbers (For all parcels in development)	5042101H0010 and 504210013950
Request / Description of Project	Site plan approval for 380 units with 2,700 sq ft retail Allocation of 380 flex units from Flex Zone 54
Total Estimated Cost of Project	\$ (Including land costs)

Current Land Use Designation	RAC
Proposed Land Use Designation	same
Current Zoning Designation	RAC-CC
Proposed Zoning Designation	same
Current Use of Property	vacant
Number of Residential Units	380
Non-Residential SF (and Type)	2,700
Total Bldg. SF (include structured parking)	
Site Adjacent to Waterway	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Dimensional Requirements	Required	Proposed
Lot Size (SF / Acreage)	N/A	2.1416 acres
Lot Density	N/A	177.44
Lot Width	N/A	N/A
Building Height (Feet / Levels)	N/A	35 levels - 393'-8"
Structure Length	N/A	N/A
Floor Area Ratio	N/A	N/A
Lot Coverage	95%	77.6%
Open Space	N/A	15,038 sq ft
Landscape Area	N/A	N/A
Parking Spaces	None required	576

Setbacks (indicate direction N,S,E,W)	Required	Proposed
Front <input type="checkbox"/> SW1 Ave.	5'0" from PL; 35' from CL	5'-9"; 35'-9"
Side <input type="checkbox"/> SW 5 ST	5'0" from PL; 35' from CL	10'-4"; 40'-4"
Side <input type="checkbox"/> SW 4 ST	5'0" from PL; 35' from CL	5'-0"; 35'-0"
Rear <input type="checkbox"/> SW Flagler Ave.	5'0" from PL; 35' from CL	8'-0"; 38'-0"

DEVELOPER:

EDI

ellisdiversified,inc.

3020 NE 32nd AVE # 110
FORT LAUDERDALE, FLORIDA, FL 33308
TEL. (954) 563-0550

ZONING ATTORNEY:

& LOCHRIE
CHAKAS

P.A.

1401 E. BROWARD BLVD SUITE 200
FORT LAUDERDALE, FLORIDA 33301
TEL. (954) 779-1119 FAX (954) 779-1117

ARCHITECTURE:

COHEN
FREEDMAN
ENCINOSA

ASSOCIATES

ARCHITECTS, PA
Lic. No. AA C 000779
8085 NW 155TH STREET
MIAMI-LAKES, FL 33016
P:305.826.3999 F:305.826.4155
www.cfearchitects.com

LANDSCAPE ARCHITECTURE:

RHETT ROY

Landscape Architecture-Planning, P.A.
412 North Andrews Avenue
Fort Lauderdale FL 33301
Florida License Number LA 393
Fax 954/462-0722
Phone 954/462-0704
Rhett Roy.com

CIVIL ENGINEERING:

Botek Thurlow
Engineering, Inc.

Civil & Coastal Engineers
3409 NW 9th Avenue, Suite 1102, Ft. Lauderdale FL 33309
Phone: (954) 568-0888 / Fax: (954) 568-0757

PRELIMINARY DESIGN FOR:
1ST AVENUE RESIDENCES
FORT LAUDERDALE, FLORIDA



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COHEN • FREEDMAN • ENCINOSA & ASSOC.
Architects, PA
8085 N.W. 155th Street Miami Lakes, Florida 33016 305-826-3999

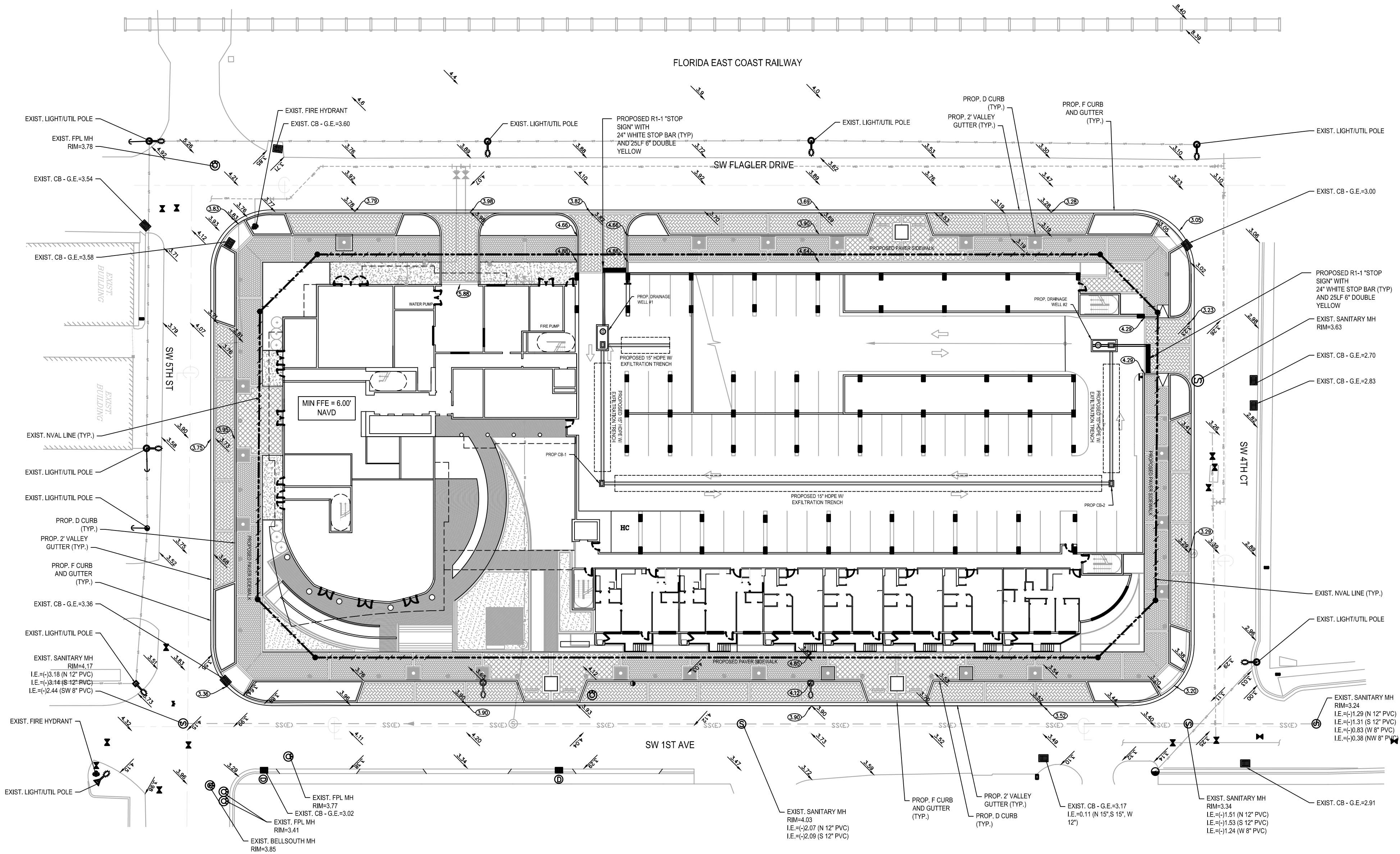
PRELIMINARY DESIGN FOR:
1ST AVENUE RESIDENCES
FORT LAUDERDALE, FL

drawn by: LF/SP

date: 9/14/2015

sheet no: A.0

project: 3324



GENERAL PAVING, GRADING, AND DRAINAGE NOTES:

- CONTRACTOR TO RESTORE ALL EXISTING PAVEMENT, PAVEMENT MARKINGS, SIDEWALK, LANDSCAPING, IRRIGATION, ETC. DAMAGED DURING CONSTRUCTION INCLUDING AND DAMAGE TO EXISTING ROADWAY IN PUBLIC R.O.W.
- EXISTING GRADES SHOWN ARE FOR REFERENCE ONLY. FINISHED GRADES INDICATED BY GOVERN.
- ALL ELEVATIONS SHOWN HEREON REFER TO NAVD 1988 UNLESS NOTED OTHERWISE.
- CROSSWALKS AND HC RAMPS TO CONFORM TO ADA W/ DETECTABLE WARNING SURFACE.
- EXACT LOCATION OF METERS AND BFPs TO BE COORDINATED IN THE FIELD.
- ALL ROOF DRAINS TO BE CONNECTED TO THE NEAREST STORM DRAINAGE STRUCTURE.
- REFER TO PAVING, GRADING, AND DRAINAGE DETAILS AND SECTIONS FOR ADDITIONAL INFORMATION.
- UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL EXISTING DRAINAGE WITHIN THE COUNTY RIGHT OF WAY THAT HAS BEEN AFFECTED BY THE CONSTRUCTION.
- DURING CONSTRUCTION ACTIVITIES INLET PROTECTION SHALL BE PROVIDED FOR ALL DRAINAGE INLETS ADJACENT TO THE PROJECT SITE. REFER TO POLLUTION/EROSION CONTROL PLAN.
- RESTORE ANY PAVEMENT MARKINGS AFFECTED BY THE INSTALLATION OF THE TYPE 'F' CURB AND GUTTER PER BROWARD COUNTY MINIMUM STANDARDS.
- LANDSCAPING INSTALLED IN THE PUBLIC RIGHT OF WAY, ADJACENT TO 'F' CURB IS TO HAVE ROOT PROTECTION INCLUDED IN THE INSTALLATION. SEE LANDSCAPE PLANS FOR DETAILS.

PAVEMENT MARKING & SIGNAGE NOTES:

- ALL PAVEMENT MARKING & SIGNAGE TO BE IN ACCORDANCE WITH THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD) (LATEST EDITION), FDOT STANDARDS (LATEST EDITION), AND BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION STANDARDS (LATEST EDITION).
- ALL PAVEMENT MARKINGS ADJACENT TO THE PUBLIC RIGHT OF WAY ARE TO BE REFLECTIVE THERMOPLASTIC.
- ALL R-1-1 STOP SIGNS SHALL BE HIGH INTENSITY REFLECTORIZED MATERIAL.
- ALL PAVEMENT MARKINGS SHALL BE ALKYO BASED THERMOPLASTIC AND FULLY RETROREFLECTORIZED.
- ALL PAVEMENT MARKINGS ON PAVEMENT SYSTEMS SHALL BE 3M 5730/31 TAPE AND APPLIED WITH AN E44 CONTACT CEMENT AS PER MANUFACTURER'S SPECIFICATIONS.
- SEE FDOT INDEX NO. 17352 FOR PLACEMENT OF RPM's. (FOR BULLNOSE RPM TREATMENT, SEE LEGEND NO. 1)
- RPM's SHALL BE CLASS "B" 911 OR EQUIVALENT, APPLIED WITH EPOXY OR BITUMINOUS ADHESIVE.
- FDOT APPROVED SEALER SHALL BE USED WHEN APPLYING MARKINGS ON CONCRETE.
- EXISTING MARKINGS SHALL BE REMOVED BY WATER BLASTING OR SANDBLASTING ONLY.
- ALL STOP BARS TO BE 4" BEHIND CROSSWALK OR SIDEWALK.

PAVING, GRADING, AND DRAINAGE LEGEND

PROPOSED DRAINAGE PIPE

PROPOSED CIRCULAR CATCH BASIN

PROPOSED RECTANGULAR CATCH BASIN

PROPOSED STORM MANHOLE

PROPERTY or R/W LINE

CENTER LINE

NON VEHICULAR ACCESS LINE

TYPE OF FDOT CURB RAMP (NOTE: ALL CURB RAMP TO BE EQUIPPED WITH DETECTABLE WARNING STRIP AS REQUIRED BY FDOT INDEX 304)

ABBREVIATIONS

I.E. INVERT ELEVATION

R.E. RIM ELEVATION

G.D. GARAGE DRAIN

R.W.L. RAIN WATER LEADER

PROP. ST MH PROPOSED STORM MANHOLE

PROP. CB PROPOSED CATCH BASIN

PROP. DW PROPOSED DRAINAGE WELL

PROP. CS PROPOSED CONTROL STRUCTURE

E(E) EXISTING BURIED ELECTRIC

G(E) EXISTING GAS

BT(E) EXISTING BELL TELEPHONE

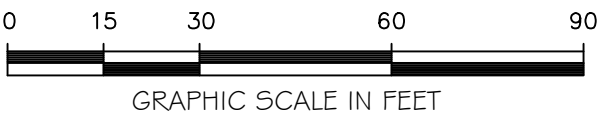
OH(W) EXISTING OVERHEAD WIRE

W(E) EXISTING WATER

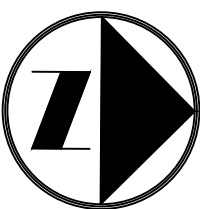
FLOW ARROW

PROPOSED GRADE

CROSS SECTION



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REVISIONS

DATE

#



PAVING GRADING AND DRAINAGE PLAN

1ST AVENUE RESIDENCES
Fort Lauderdale, FL

Botek Thurlow

Engineering, Inc.

3400 NW 9th Avenue, Suite 1102, Ft. Lauderdale, FL 33309
www.botekthurlow-eng.com P: 954-568-8888 F: 954-568-0757
FL Certificate of Authorization # 20787

BTE PROJECT #:
15-0601

DATE:
08-27-15

SHEET #:
C-2



EAST ELEVATION

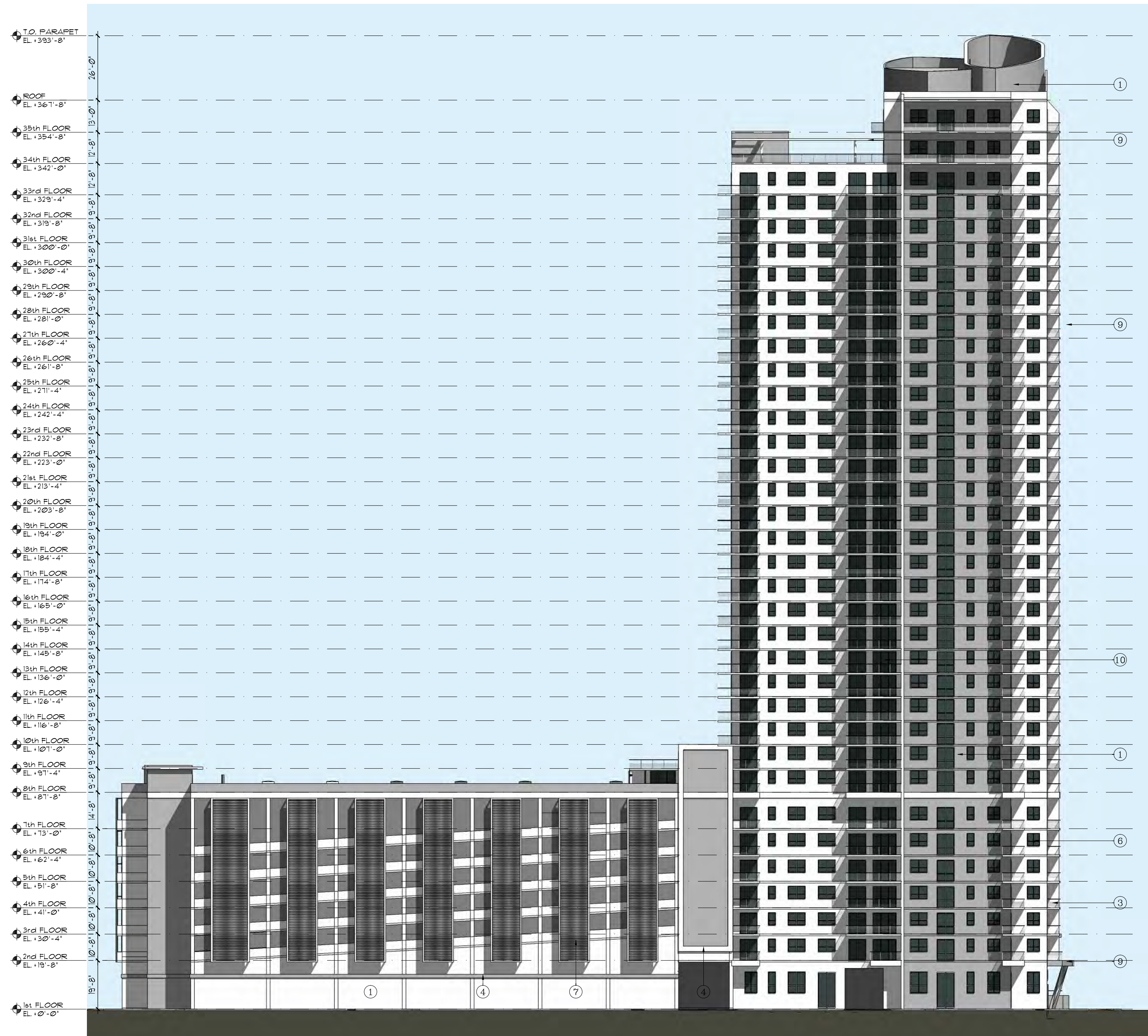
SCALE: 1"=30'

ELEVATION KEY NOTES	
1. SMOOTH STUCCO FINISH	9. LOBBY ENTRANCE CANOPY
2. STUCCO SCORE LINE	10. TINTED SLIDING GLASS DOOR
3. ALUMINUM PIPE-RAIL ESP FINISH	IN ALUM FRAME (ESP FIN)
4. RAISED STUCCO MOLDING	11. CLEAR STOREFRONT GLASS
5. LIGHT FIXTURES	IN ALUM. FRAME (ESP FIN)
6. TINTED GLASS WINDOW IN ALUM. FRAME ESP. FIN.	12. CONCRETE EYEBROW
7. ALUM. LOUVERS	
8. PEDESTRIAN BRIDGE	



NORTH ELEVATION

SCALE: 1"=30'

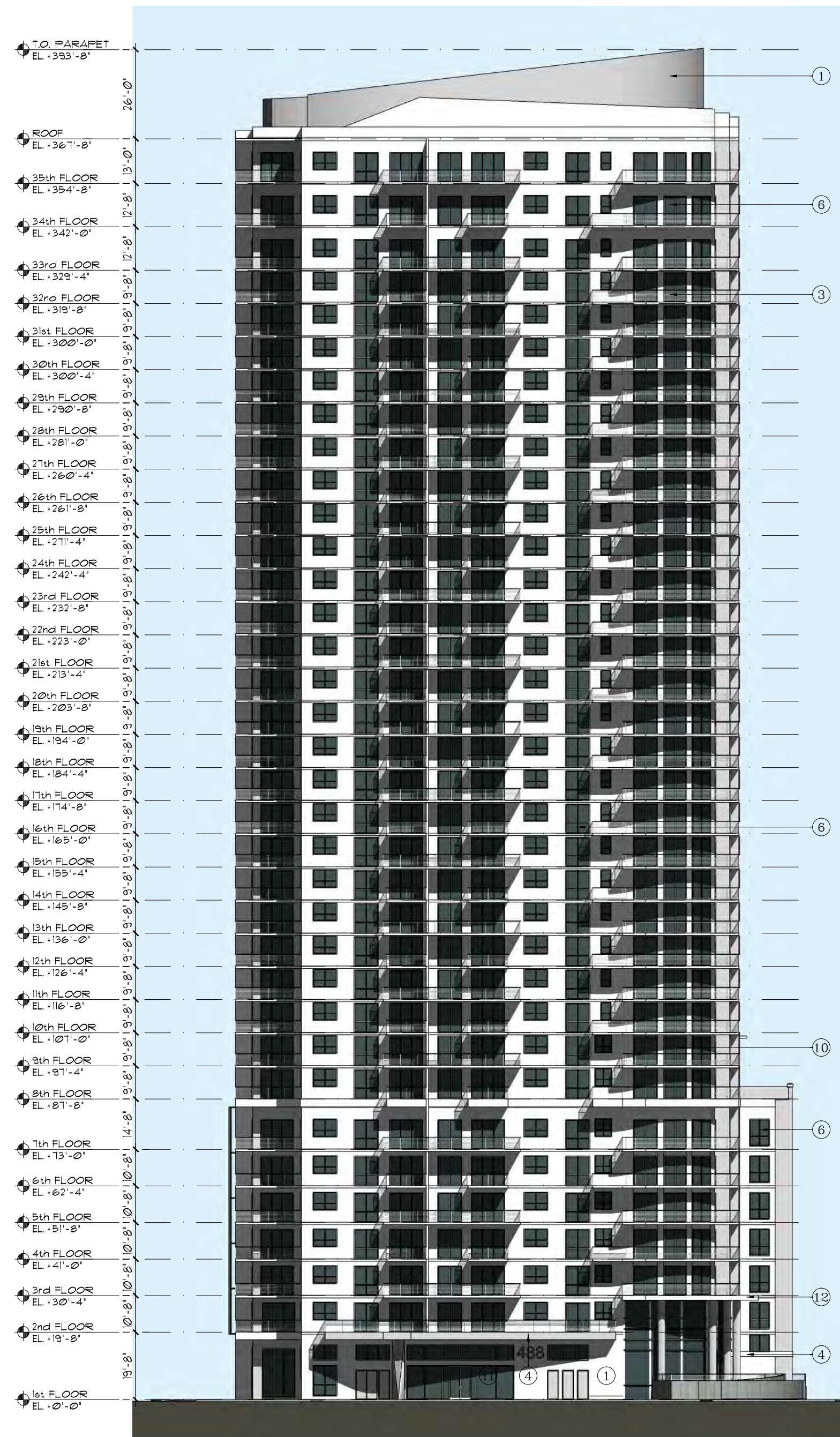


WEST ELEVATION

SCALE: 1"=30'

ELEVATION KEY NOTES

- | | |
|--|-------------------------------|
| 1. SMOOTH STUCCO FINISH | 9. LOBBY ENTRANCE CANOPY |
| 2. STUCCO SCORE LINE | 10. TINTED SLIDING GLASS DOOR |
| 3. ALUMINUM PIPE-RAIL
ESP FINISH | 11. CLEAR STOREFRONT GLASS |
| 4. RAISED STUCCO MOLDING | 12. CONCRETE EYEBROW |
| 5. LIGHT FIXTURES | |
| 6. TINTED GLASS WINDOW IN
ALUM. FRAME ESP. FIN. | |
| 7. ALUM. LOUVERS | |
| 8. PEDESTRIAN BRIDGE | |



SOUTH ELEVATION

SCALE: 1"=30'

PRELIMINARY DESIGN FOR:

1ST AVENUE RESIDENCES
FORT LAUDERDALE, FL

revisions

drawn by:

date:

sheet no:

A4.1

project:

COHEN • FREEDMAN • ENCINOSA & ASSOC.

Architects, PA

8085 N.W. 155th Street Miami Lakes, Florida 33016 305-826-3999



CITY OF FORT LAUDERDALE

DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT

Meeting Date: November 10, 2015

Project Name: SWFA, LLC / 1st Ave Residences

Case Number: R15057

Request: Site Plan Level II Review: 380 Multifamily Units,
Parking Garage, 2700sf Retail Use

Location: 477 SW 1st Avenue

Zoning: Regional Activity Center – City Center (RAC-CC)

Land Use: Downtown Regional Activity Center

Project Planner: Randall Robinson

Case Number:
R15057_Airport

CASE COMMENTS:

Please provide a response to the following:

- 1) A Notice of Proposed Construction or Alteration form (7460-1) must be filed with the FAA and a determination of no hazard to air navigation issued since the proposed building exceeds 200 feet in height. An airspace study number must be assigned to the project before requesting any preliminary sign offs. The FAA must issue a determination of no hazard to air navigation letter prior to requesting final sign off.
- 2) A second Notice of Proposed Construction or Alteration must be filed for the construction crane or equipment that will exceed the height of the building.
- 3) Please refer to the web site listed below for information regarding how to file electronically or hard copy <https://oeaaa.faa.gov/oeaaa/external/portal.jsp> The two notices should be filed with the FAA as soon as possible since it typically takes at least 60 days for the FAA to issue a determination.

Case Number: R15057

CASE COMMENTS:

NONE – Signature NOT required.

GENERAL COMMENTS:

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. The Florida Building Code shall apply to the construction, alteration, movement, enlargement, replacement, repair, equipment, use and occupancy, location, maintenance, removal and demolition of every building or structure or any appurtenances connected or attached to such buildings or structures.
2. All projects must consider safeguards during the construction process. Florida Building Code Chapter 33 delineates various safeguards that may apply during the construction phase. All structures associated with the protection of pedestrians will require a separate permit. A licensed professional must sign and seal the plans and specifications.
3. The City of Fort Lauderdale is a participating municipality in the National Flood Insurance Program (NFIP). The requirements specific to the City of Fort Lauderdale can be found in **Chapter 14 - FLOODPLAIN MANAGEMENT of the Code of Ordinances** and accessed at;
 - a. https://www.municode.com/library/fl/fort_lauderdale/codes/code_of_ordinances?nodeId=COOR_CH14FLMA

Please consider the following prior to submittal for Building Permit:

1. On June 30 2015, the 5th Edition of the Florida Building Code was adopted. All work described in Section 101.2, of the Broward County Administrative portion of the Florida Building Code, will govern the administration and enforcement of the proposed work. Each building and or structure will require a separate permit. The following websites will assist in the design considerations;
 - b. <http://www.fortlauderdale.gov/departments/sustainable-development/building-services>
 - c. https://floridabuilding.org/dca/dca_fbc_default.aspx
 - d. <http://www.broward.org/codeappeals/pages/default.aspx>

Case Number: R15057

1st Avenue Residences –
380 Multifamily Units,
Parking Garage, 2700 SF
Retail Use

477 S.W. 1st Avenue

RIGHT OF WAY / EASEMENT DEDICATIONS REQUIRED PER ULDR SECTION 47-25.2.M.5:

- a. 1' Right-of-Way Easement dedication along north side of S.W. 5th Street for 7' (min.) pedestrian access; show linework in the plans and on easement exhibit
- b. 3' Right-of-Way Easement dedication along east side of S.W. Flagler Drive for 7' (min.) pedestrian access; show linework in the plans and on easement exhibit
- c. 5' Right-of-Way Easement dedication along south side of S.W. 4th Court for 7' (min.) pedestrian access; show linework in the plans and on easement exhibit
- d. 1' Right-of-Way Easement dedication along west side of S.W. 1st Avenue for 7' (min.) pedestrian access; show linework in the plans and on easement exhibit

CASE COMMENTS:

A. Please respond to Comments 1 through 38 prior to Final DRC sign off

1. Meet the City's Adequacy requirements to services provided to the public (fire service, water, wastewater, stormwater, transportation, etc.), per ULDR Section 47-25.2 of the City's Code of Ordinances. Assess potential demands and impacts on City services and prepare a design for each that utilizes existing water, wastewater, stormwater, and transportation infrastructure to adequately serve this project. If adequate infrastructure is not available, prepare a design that extends/expands the connection to the nearest City system to adequately serve this development.
 - a. Prepare service demand calculations for water & wastewater services and obtain a letter of service availability from the City's Public Works – Engineering Department. Please contact Jorge Holguin at 954-828-5675 or jholguin@fortlauderdale.gov.
 - b. A Traffic Impact Study may be required in accordance with ULDR Section 47-25.2.M.4 of the City's Code of Ordinances. For detailed information on methodology and procedures concerning the TIS coordinate with Alia Awwad, P.E. [(954) 828-6078 or aawwad@fortlauderdale.gov] and/or Eric Houston [(954) 828-5216 or ehouston@fortlauderdale.gov] with the Transportation & Mobility Department to fulfill transport aspect of the Adequacy requirements.
 - c. Coordinate the minimum Finished Floor Elevation and site grading approval with Richard Benton – City Floodplain Manager at (954) 828-6133 or RBenton@fortlauderdale.gov; please note that additional notes may be required on the Site Data table.
2. Please be advised that all proposed improvements within or adjacent to the Florida Department of Transportation (FDOT), Broward County (BCHCED) and City Right-of-Way are subject to issuance of a Right-of-Way permit from the authority having jurisdiction. This shall include the execution of an agreement that authorizes those entities the authority to remove improvements for any public purpose in the future.
3. Obtain approval from the Florida Department of Transportation (FDOT) for the Strategic Intermodal System (SIS) Program. The site plan shall be reviewed and approved by FDOT. Please contact Ms. Tammy Campbell at 954-777-4668 (tammy.campbell@dot.state.fl.us) to inquire whether the SIS approval is required for the proposed development.

4. Provide documentation from the Broward County Planning Council (BCPC) verifying whether the site requires platting/replatting. The documents from BCPC shall be submitted to the City's engineering reviewer. The BCPC may be contacted at (954) 357-6695.
5. A Traffic Impact Study may be required in accordance with ULDR Section 47-25.2.M.4 of the City's Code of Ordinances. For detailed information on methodology and procedures concerning the TIS, please contact Alia Awwad, P.E. at (954) 828-6078 or aawwad@fortlauderdale.gov.
6. Proposed parking garage driveway access from S.W. 4th Court conflicts with 'Non-Vehicular Access Line' shown on ALTA Land Title Survey; discuss process to remove NVAL in this location or relocate driveway access as appropriate.
7. Coordinate driveway ingress/egress locations for the proposed development with the adjacent New River Yacht Club Phase II (West) project. For more information, please contact Randall Robinson at 954-828-5265 or rrobinson@fortlauderdale.gov.
8. Civil Sheet C2 – Incorporate existing storm drain inlets, located adjacent to the southeast, southwest, and northwest corners of proposed development, into the proposed drainage design; discuss proposed drainage conveyance near the southwest and northeast corners of the proposed development, since proposed curb & gutter spot grades indicate low points without corresponding curb inlets.
9. Civil Sheet C3 – Coordinate water service connection for proposed development shown to connect to 'Future 8" WM to Be Constructed by the North Adjacent "New River Yacht Club West" Project'.
10. Per ULDR Section 47-2.2.Q, show and label sight triangles as appropriate for safe and adequate access of drivers and pedestrians, on the Site Plan, Landscape Plans, and Civil Plans: intersections of driveways with streets (measured from pavement edges), alleys with alleys (measured from property lines extended), alleys with streets (measured from property lines extended), and streets with streets (measured from property lines extended). Per ULDR Section 47-19.1.E, no accessory use or structure shall be permitted within a sight triangle except as provided in [ULDR Section 47-35](#).
11. Remove proposed on-street parallel parking spaces adjacent to the proposed development along S.W. 5th Street, S.W. Flagler Drive, S.W. 4th Court, and S.W. 1st Avenue, that encroach into the 25' corner sight triangles.
12. Show and label on Site Plan 7' (min.) clear sidewalk width for public pedestrian access (i.e. Right-of-Way or perpetual Right-of-Way Easements) along development side of S.W. 5th Street, S.W. Flagler Drive, S.W. 4th Court, and S.W. 1st Avenue.
13. Provide and label typical roadway cross-sections, incorporating on-street parallel parking as appropriate, for the proposed development side of S.W. 5th Street, S.W. Flagler Drive, S.W. 4th Court, and S.W. 1st Avenue.
14. Dimension typical roadway travel lane widths and parking lane lengths/widths on the Site Plan for the proposed development side of S.W. 5th Street, S.W. Flagler Drive, S.W. 4th Court, and S.W. 1st Avenue.
15. Discuss improvements on west side of S.W. Flagler Drive, from S.W. 5th Street to S.W. 4th Court, adjacent to the proposed development.
16. Verify and discuss intent of the proposed pedestrian and ADA accessibility design for sidewalk improvements along S.W. 5th Street, S.W. Flagler Drive, and S.W. 1st Avenue, especially ground floor access to the 1st Street Residences building and addition of off-site ramp. Also verify and discuss ADA accessibility for sidewalk improvements along the proposed development side of S.W. 5th Street, S.W. Flagler Drive, S.W. 4th Court, and S.W. 1st Avenue, especially crossing proposed driveways and connecting to existing sidewalk (at intersections) as appropriate.

17. Discuss how sidewalk runoff from proposed development (between building and Right-of-Way boundary) will be mitigated such that it won't be conveyed into the adjacent existing public storm drain infrastructure, or whether additional infrastructure will be required.
18. Dimension and label type of proposed loading zone required on Site Plan, per ULDR Section 47-20.2 Table 2 and Section 47-20.6. The narrative shall also include, but not be limited to, descriptions of the following: loading activities (including locations, times, and duration), hours of operation, trash disposal, security/gating, number of employees, etc.
19. Discuss if pedestrian lighting is proposed, or if not, discuss the possibility of the addition of pedestrian lighting along City Right-of-Way. Please contact the Case Planner for details to match the area.
20. Show and callout delineations for proposed Right-of-Way Easement boundaries on the Site Plan and the Civil drawings. On Sheet A4.0 thru A5.0 (3 Sheets), show and label existing Right-of-Way and proposed Right-of-Way Easement boundaries on all building elevation details.
21. Per ULDR Section 47-20.5.C.6, provide and dimension the minimum stacking distance required for driveway ingress to and egress from the proposed parking garage – a minimum 12' x 22' area for each vehicle to be accommodated for stacking; coordinate with parking garage gate access if appropriate.
22. For all levels in the parking garage: show total number of parking stalls, dimension in all areas, including all aisle widths, parking spaces (please refer to applicable ADA standards for the required geometric dimensions for the ADA parking spaces), and ramp areas.
23. Show proposed layout for top level of parking garage, with dead-end parking spaces labeled as appropriate for vehicular turnaround.
24. Prepare a preliminary staging storage plan, which includes phasing and information regarding the site layout of the temporary construction measures; the purpose of this plan is to identify the temporary construction measures that will be used to protect the general public, adjoining properties, and minimize the impact of the construction on neighboring transportation system, landscaping, Right-of-Way encroachments, and businesses.
25. Underground or relocate existing overhead power lines on the development side of S.W. 4th Court and S.W. 1st Avenue, if in conflict with the proposed development.
26. Show location of building roof drains, and their proposed connection(s) to the on-site drainage system.
27. Drainage pipes missing to drain structural soil (per Silva Cell specifications) at proposed tree planting areas; coordinate Civil plans with Landscape plans as appropriate.
28. Be advised that any road cuts for utilities or curb cuts within in the City Right-Of-Way shall be restored to full lane width for 50' minimum length, per City Code of Ordinances Section 25-108.
29. Evaluate the possibility of utilizing a sustainable stormwater approach with the possibility of utilizing sustainable or low impact (cisterns, pervious pavers, etc.) uses for landscaping along the streetscape.
30. Please prepare and submit the following exhibits which clearly define the following (as applicable):
 - a. Construction Phasing Exhibit
 - b. Right-of-Way / Easement Dedication / Vacation Exhibit
 - c. Maintenance Agreement Area Exhibit
 - d. Revocable License Area Exhibit

31. Submit a signed and sealed survey showing all above ground improvements, utilities, rights of way dimensions and all easements. This survey shall be based on an a Standard Title Commitment issued by a title insurer licensed to do business in Florida or an Opinion of Title issued by an attorney admitted to the Florida Bar. The title commitment or Opinion of Title must have an effective date no more than thirty days prior to the date of submittal of the survey and must be certified to the City of Fort Lauderdale. Additionally, an affidavit shall be provided by the property owner attesting that there were no additional recordings of easements or encroachments from survey date to the final DRC sign off date.
32. Prepare and submit the following civil engineering drawings, signed and sealed by a Florida registered professional Civil Engineer:
 - a. Paving, Grading, and Drainage Plan, including the sizes and dimensions of all stormwater infrastructure. Please be advised that all storm drains shall be constructed with RCP piping in the City Right-Of-Way.
 - b. Water and Sewer Plan, including any existing water main, force mains, gravity mains, etc. (show all materials & pipe sizes on the plan). Please be advised that all water mains shall be constructed with DIP piping in the City Right-Of-Way.
 - c. Erosion and Sediment Control Plan. This plan shall be reviewed for the drainage impacts to adjacent properties, surrounding Right-of-Way, stormwater facilities, and neighboring water bodies.
 - d. Provide typical cross-sections and section profiles along all property lines, and show how the existing and proposed grades will tie to one another. Also, show spot elevations along the perimeter (property lines) on the paving and grading plan.
 - e. Signing and Marking Plan, including the radii all landscaping and pavement areas.
33. Provide an on-site drainage system along with storm runoff calculations (signed and sealed by a Florida registered professional engineer). The calculations shall show how the minimum road crown and finished floor elevations are met, and how the 25-year, 3-day storm event is maintained on site with zero discharge to Right-of-Way and adjacent properties. **Any site that goes through DRC must store at least the 25-year 3-day event onsite with NO EXCEPTIONS.** In addition, please note that the City does not allow connecting the on-site stormwater drainage system with those in the City's Right-of-Way. Fill requirements to be provided by City Floodplain Manager, Richard Benton.
34. Provide support data that this site meets the fire hydrant locations and distribution as per the NFPA Codes and Standards. Clearly show all existing and proposed fire hydrants and 500-foot radius of coverage area. In addition, please note that a fire hydrant shall be installed within 100 feet of the Fire Department Connection.
35. Provide the ADA parking, access/driveway, and sidewalks/ramps in accordance with Chapter 553 of the Florida's Statutes, "Accessibility of Handicapped Persons "and latest edition of "Accessibility Requirements Manual" by Department of Community Affairs Florida Board of Building Codes and Standard and in accordance with American Disability Act (ADA).
36. Show utilities on the landscaping plans for potential conflict.
37. Verify the existing utilities shown on the survey and describe whether the connection and routing of franchised utilities (power, cable, gas, communications, etc.) serving the proposed development will need to be removed and/or relocated.
38. Please discuss the locations/relocation of the underground utilities with the City Public Works Department - Utilities, Rick Johnson at rjohnson@fortlauderdale.gov or (954) 828-7809.

B. Respond to Comments 39 through 51 prior to Engineering Permit Approval

39. Submit the State of Florida Notice of Intent (FAC 62-621.300(4)(b)) per the Florida Department of Environmental Protection (FDEP) criteria. Notice is required for sites of one (1) acre or larger site area with

the potential for discharge of sediments to surrounding surface waters or drainage systems which discharge indirectly to those surface waters as classified or otherwise identified in the Florida Administrative Code (FAC). Therefore, the Applicants whose projects disturb one or more acres of soil or whose projects disturb less than one acre but are part of a larger common plan of development that in total disturbs one or more acres, are required to obtain coverage under the General Permit for Discharges of Storm Water Associated with Construction Activity.

40. Please be advised that all proposed improvements within or adjacent to the City's Right-of-Way are subject to issuance of permit from the City, as well as the execution of an agreement that may authorize the City for removing those improvements for any public purpose in the future. In addition, please note that a Maintenance Declaration shall be executed with the City acknowledging that the Applicant will maintain all improvements in the City Right-Of-Way, including but not limited to lighting, landscaping, special paving and stormwater improvements.

Please note that all easements and maintenance agreements shall be recorded prior to final permit close out and Certificate of Occupancy issuance.

41. Obtain a Transportation Concurrency Satisfaction Certificate from the Broward County Planning and Environmental Regulation Division (BCPERD). Please contact Evangeline Kalus at (954) 357-6632 or EKalus@broward.org at BCPERD to determine whether the project is subject to the Transportation Concurrency Fees. In addition, please contact Pierre Dogniaux with the Broward County Transit Division at (954) 357-8304 to determine what (if any) improvements are suggested to ensure mobility needs are adequately met for this proposed site.
42. Obtain a general or surface water management license from the Broward County Environmental Protection & Growth Management Division (BCEPGMD). Route certified calculations with Paving & Drainage plans to engineering reviewer.
43. Verify the means for the demolishing the existing structures on the property so that appropriate timely notice and coordination can be executed with the City's Public Works Utilities, and franchise utility companies to control the impacts from the demolition. Please be advised that a permit is required for demolishing work activities.
44. Prepare an appropriate staging plan, which includes phasing and information regarding the site layout of the temporary construction measures. The purpose of this plan is to identify the temporary construction measures that will be used to protect the general public, adjoining properties, and minimize the impact of the construction on neighboring transportation system, landscaping, Right-of-Way encroachments, and businesses. The items to be addressed by the staging plan shall include but not limited to the following:
- a. Submit a Construction Phasing Plan clearly depicting the phasing of construction if applicable. The plan shall show the following:
 - 1) Include a narrative for each phase along with roadways utilized for materials delivery
 - 2) Clearly show boundaries of the site, dimensions and names of all streets and alleys, direction of travel, bike lanes, on-street parking and sidewalks
 - 3) Show location of Job trailers or construction offices for the staff, general contractor, and subcontractors with Finished Floor Elevations
 - 4) Show location, type and size of temporary construction fencing, including locations of gates and gate swing radii. If corners of fence correspond with cross streets, propose a fence boundary that will not obstruct sight lines for motor vehicles
 - 5) Show location and type of construction crane(s), including span radius
 - 6) Indicate location and number of portable rest rooms, dumpsters, and trash chutes
 - 7) Show location of the Fire Department Connection during construction and a water supply (hydrant) in accordance with N.F.P.A.1, Chapter 29

- 8) Show location of any sidewalk to be closed or protected as required by Chapter 33 of the Florida Building Code
 - 9) Indicate location and time frame of any street closures (part or all of street) with a detour signage plan meeting MUTCD standards, prepared by a Certified Traffic engineer or technician. Please be advised that the City Commission approval will be required for detours and street and sidewalk closures lasting over 72 hours, and the said approval may take eight (8) weeks or more
 - 10) Show all existing parking spaces that may be affected by the construction (or construction phasing) and indicate all parking spaces that would be included within proposed construction boundaries for each phase
 - 11) Show location of parking for inspectors and construction personnel. Include all off site parking- location, period of lease and number of spaces leased. If shuttle will be provided between parking and job site – give shuttle schedule and show route of shuttle
 - 12) Show loading/unloading areas for material delivery to include entry and exit path of vehicles without backing into street
 - 13) Show routes that delivery trucks will be instructed to follow when traveling to and from the site. All efforts should be made to avoid residential and/or small, merchant lined streets. This may be shown on a separate drawing, prepared at an appropriate scale in order to illustrate route through the City
 - 14) Indicate where and how concrete trucks will stage during multiple yardage pours
 - 15) Provide an Erosion Control Plan and show location and type of silt fencing for dust control along with measures for erosion control against material leaving site from vehicular traffic
 - 16) Indicate the locations of storm inlets. If physical measures will be taken to protect inlets, illustrate these on the Erosion Control Plan
 - 17) Show locations of truck wash-off area and procedures, including tires and concrete chutes
 - 18) Indicate schedule for street sweeping of periphery of construction site
 - 19) Indicate if dewatering is proposed.
45. Obtain a dewatering permit from the Broward County Environmental Protection Dept. (EPD). This permit is required only if the site is within 1/4 mile of a known contamination site. The EPD contact is David Vanlandingham (dvanlandingham@broward.org or 954/519-1478). He prefers to be notified via email for the quickest response. You can view their standard operation procedures for dewatering at http://www.broward.org/pprd/cs_dewatering.htm.
46. Apply and obtain a South Florida Water Management District (SFWMD) dewatering permit activities if off-site discharge is anticipated. Any planned activity that requires dewatering needs to be reviewed by SFWMD. In many cases, this could involve an email to SFWMD that include a description of the activity. If no permit is required, SFWMD will let you know. The SFWMD contact person is Steve Memberg (smemberg@sfwmd.gov).
47. Contact the Broward County Transit to determine whether the project is within the Transportation Concurrency Exception Area (TCEA) and subject to road impact fees. The City's Transportation Element requires developers within the TCEA to meet with and include the Broward County Transit representatives in proposed enhancements or improvements to their systems. Please contact Pierre Dogniaux (B.C. Transit) at 954-357-8304 to determine what (if any) improvements are suggested to ensure mobility needs are adequately met for this proposed site.
48. Pay capital expansion fees for water and wastewater treatment, distribution, and disposal at the rate identified in Ordinance C-05-21. The fee will be calculated based on Equivalent Residential Connections (ERC's). Provide a calculation for existing and proposed ERC's for approval by Urban Design Engineer. Impact fees shall be paid prior to the issuance of the building permit.
49. Please note that any lighting within the City's Right-of-Way, shall be approved and authorized by the City's Engineering and /or Building (Electrical Staff) Department. Any lighting placed in the Right-of-Way shall be powered by an approved lighting circuit from the proposed development or FPL source, and will require an engineering permit. Any new lighting system powered by private source shall require a Revocable License

agreement with the City along with a “disconnect” that shall be accessible by Facilities Maintenance staff in or near the Right-of-Way. Please contact the Facilities Maintenance office, David Smith at 954-828-6560, for information concerning the lighting within the City’s Right-Of-Way.

50. Obtain an engineering permit before installing, removing, or relocating poles (lighting or electrical) within the City’s right of way. Permanent or temporary relocations or removals shall be reviewed and approved by the City.
51. Please discuss with City Public Works Department - Utilities, Rick Johnson at (954) 828-7809, concerning the proposed methods of noise, vibration, and odor mitigation.

Case Number: R15057

CASE COMMENTS:

Please provide a response to the following:

1. Provide a water supply for fire pump that conforms to FBC 403.3.2. Two connections.

GENERAL COMMENTS:

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. No comment

Please consider the following prior to submittal for Building Permit:

1. Must conform to FBC section 403 for high rise buildings.

Case Number: R15057

CASE COMMENTS:

Please provide a response to the following:

1. Per 47-25.2. B. *Communications network*. Buildings and structures shall not interfere with the city's communication network. Developments shall be modified to accommodate the needs of the city's communication network, to eliminate any interference a development would create or otherwise accommodate the needs of the city's communication network within the development proposal.

The City will require exclusive space on the rooftop for the installation of communications antennas and microwave dish antennas. A 15ft by 10ft controlled access and environmentally controlled room within the building will be required to house the radio equipment. This room needs to be within 100 feet of the rooftop antenna location with direct access for coaxial cables. This room shall have air conditioning and no less than 150 amps of power and direct access to the building steel for grounding. A grounded antenna mounting structure suitable for no less than six (6) vertical whip style antennas and two ten foot diameter microwave dishes directed towards the east and west shall be provided. Antenna mounting positions shall be no closer than five (5) feet from each other with the microwave antennas located a minimum of twenty (20) feet from the other antenna locations. If necessary, this area may be screened from view using Radio Frequency (RF) transparent material with less than 0.5 dB attenuation in the 150 MHz through 11 GHz frequency bands.

2. This project will require a Bi-Directional Amplifier (BDA) system to address police and fire radio communications within the structure of this project.

The City has a general BDA specification available that provides guidance to a qualified radio communications vendor. This document is available from Gary Gray, Assistant Telecommunications Manager/Radio Systems Manager. He may be contacted via e-mail at ggray@fortlauderdale.gov or by telephone at (954) 828-5762.

GENERAL COMMENTS:

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. Identify if "low-E" glass will be utilized in the construction of this building.
2. Provide company name and contact information for the BDA installation contractor. The BDA design must be submitted to, reviewed, and approved by the Communications Section prior to construction. See contact information above.

Please consider the following prior to submittal for Building Permit:

1. Submit engineered BDA system design to Gary Gray for approval prior to permitting.

Case Number: R15057

CASE COMMENTS:

Please provide a response to the following prior to final DRC Signoff:

1. Within the RAC districts newly planted street trees for 1st Avenue shall be Gumbo Limbo.
2. Provide structural soil for large canopy tree planting areas adjacent to sidewalks, driveways, parking stalls, etc.
3. Provide structural soil details and specifications, and *illustrate these locations* on site, civil and landscape plans.

GENERAL COMMENTS:

The following comments are for informational purposes. Please consider the following prior to submittal for Building Permit:

4. A separate sub-permit application for Tree Removal and Relocation is required at time of master permit submittal.
5. A separate sub-permit application for General Landscaping is required at time of master permit submittal.
6. Provide irrigation plan illustrating an automatic system in accordance with ULDR Section 47-21.10. This is to include the rights-of-way areas and the outside of buffer yard wall.
7. Note that tree removal at time of demolition will not be permitted unless the Master Permit for redevelopment has been submitted for review.

Case Number: R15057

CASE COMMENTS:

Please provide a response to the following:

- 1) The applicant is strongly encouraged to contact neighbors adjacent to, as well as condominium and neighborhood associations located within three hundred feet (300') of the development site, to advise of this proposal (a map and listing of officially-recognized neighborhood associations is provided on the City's website: <http://www.fortlauderdale.gov/neighborhoods/index.htm>). Please provide acknowledgement and/or documentation of any public outreach.
- 2) The site is designated Downtown Regional Activity Center on the City's Future Land Use Map. The proposed use is permitted in this designation. This is not a determination of consistency with the City's Comprehensive Plan Goals, Objectives and Policies.
- 3) As this application requests dwelling units in the Downtown RAC, the proposed project requires a minimum 30-day review period by the City Commission or review and approval by the City Commission. In the case of the latter, a separate submittal is required for City Commission review, and the applicant is responsible for all public notice requirements (Sec. 47-27). Note: The City Clerk's office requires 48 hours' notice prior to a Commission meeting if a computer presentation is planned i.e. *Power Point*, to be provided on CD or flash drive and a copy submitted to the City Clerk, contact the project planner for more information (954-828-5265).
- 4) Verify that copy of plat is the most current recorded plat, including notes and amendments, for the proposed site. Provide documentation from the Broward County Planning Council verifying that the site does not require platting or replatting. If replatting or platting is not required, contact the Development Review Services Section of the Planning and Environmental Regulation Division of Broward County at (954) 357-6637 to ensure that proposed project is consistent with the latest recorded plat restriction.
- 5) The subject development parcel is included in a parking agreement with an adjacent property. Provide documentation of rescission of parking reduction order for the property.
- 6) Attach all narratives provided to City Commission and Final DRC sets.
- 7) Discuss and provide responses and/or make site plan revisions to address the Design Review Team (DRT) comments.
- 8) Please explain why survey of parcel on west side of 1st Avenue is included in the plan package.
- 9) Building Design Comments:
 - A. Remove dashed lines from elevations to simplify plans and clarify the building's appearance;
 - B. Consider design aspects that will more clearly distinguish the project, emphasize its quality and enhance variety in the architecture of Downtown buildings, with the intent of creating a more lively, human-scaled and pedestrian-friendly environment among a diversity of high-rise buildings;
 - C. Applicant is encouraged to create a tower that contributes positively to the overall skyline composition of Downtown Fort Lauderdale. Views of the skyline from various angles and locations should be studied in skyline renderings. Buildings with special prominence in key locations should have architectural/sculptural elements designed to be seen from the appropriate distances
 - D. Consider new FEMA flood regulations when designing how the building shapes the public realm. Transition between indoors and out should feel as seamless as possible;
 - E. Consider possibility of creating more open public space(s) around the building's perimeter, incorporating possible green design/plaza elements to contribute to the public realm;
 - F. In order to most effectively animate pedestrian environment, ensure ground floor windows are of clearest glass allowed by Building Code;

- G. Consider placing gym on ground level of parking garage, facing Flagler Drive and/or consider creating a mini version of the landscape court to face on to Flagler Drive;
- H. Provide close up details, sections and photographs of garage screening materials;
- I. Enhance north wall of landscape court/south façade of parking garage by bringing stairwell windows down to ground level. Consider exposed elevators and landscape elements as part of garage screening to further activate these exposed portions of the building;
- J. Where structured parking must be exposed to the street, exceptionally creative solutions should be explored. Consider use of sustainable green elements to soften and help mitigate the parking structure mass;
- K. As roof of parking garage will be plainly visible from surrounding high rises, incorporate “fifth façade” treatments and remove parking lot. Applicant is urged to provide a green roof with amenities over the parking garage, which will also add more active uses above and result in a more positive impact on the landscape court below;
- L. Confirm roof plan shows location of all mechanical equipment and includes spot elevations of all mechanical equipment to verify proposed screening adequately shields all equipment from view. In addition, indicate all mechanical equipment within the subject site on the site plan and elevations where applicable.

10) Streetscape Design Comments:

- A. Coordinate streetscape improvements with the Downtown and New River Master Plan for streets leading to the New River as well as planned development “New River Yacht Club West” and show its footprint on the proposed 1st Avenue Residences site plan.
- B. Discuss proposed improvements and treatment along Flagler Drive right of way; Coordinate improvements with Downtown Master Plan for local streets and Transportation and Mobility staff relative to design flexibility in consideration of any potential future greenway initiatives and/or other connectivity improvements.
- C. Indicate all utilities (both above and below ground) that would affect the proposed planting or landscape plan. Overhead lines (if any) should be placed underground. If the lines cannot be placed underground provide documentation from FP&L indicating such

11) Pursuant to ULDR Sec. 47-22.4.C.8, provide a master sign plan detailing the information below. Please note, any proposed signs will require a separate permit application:

- a. Location and orientation of all proposed signage;
- b. Dimensions of any proposed signage (height, width, depth, etc.);
- c. Proposed sign copy; and
- d. Proposed colors and materials.

12) It is recommended the following pedestrian and bicycle-related comments be addressed:

- a. Per Sec. 47-25.2.M.6. (Adequacy requirements / Transportation / Pedestrian facilities): Sidewalks pedestrian crossing and other pedestrian facilities shall be provided to encourage safe and adequate pedestrian movement on-site and along roadways to adjacent properties.
- b. Consider installation of a B-cycle bike-sharing station as an amenity for residents. Contact Bob Burns, President, B-cycle, 940-478-2191, bburns@bcycle.com.
- c. Label all proposed pedestrian access/circulation areas: sidewalks, paths, crosswalks etc. (including width) to/from and within the site.
- d. Site plan design indicates pedestrian/vehicle conflict areas. Accommodate safe pedestrian access, particular to/from public sidewalks, vehicle parking areas and building entrances.
- e. Provide bicycle parking, for both residents and visitors, in visible, well-lit areas as close as possible to pedestrian entryways/doors. In addition where possible, locate bicycle parking facilities in an area that is sheltered/covered.
- f. Provide bike storage lockers with air pumps for residents. Send email to Karen Mendrala at kmendrala@fortlauderdale.gov for information on bicycle parking standards and to obtain a copy of the Assoc. of Pedestrian and Bicycle Professionals [APBP] Bicycle Parking Guidelines and Broward County End-of-Trip Bicycle Facility Guide.

13) Consider employing green building practices throughout the project including, but not limited to electric vehicle charging stations, tankless water heaters, rain collection systems, pervious on-street parking, bio-swales, Florida Friendly™ plant materials, solar panels and green roofs. At DRC Meeting discuss project's sustainable design features.

- 14) Extend values on photometric plans to all property lines. Show values as pursuant to Sec. 47-25.3.A.3.a and 47-20.14. Indicate lighting poles on site plan and landscape plan, and provide dimensions and detail. Garage internal lighting fixtures and glare cannot be visible from neighboring properties.
- 15) Please be aware the proposed development may be required to meet the elevation standards of the American Society of Civil Engineers/Structural Engineering Institute (ASCE/SEI) for Design Flood Elevation (DFE) and in conformance with Section 1612.4, *Design and Construction* of the Florida Building Code. All applicants are encouraged to discuss these requirements in detail with the City's Chief Building Official or his/her designee. Prior to Final DRC sign-off, applicant is required to submit two signed/sealed originals of the "Flood Zone Data" form along with all other submittal requirements.
- 16) This project is subject to the requirements of Broward County Public School Concurrency. The City will notify the School Board Superintendent or designee of this proposal. Prior to submitting an application for placement on a Planning and Zoning Board or City Commission agenda, a written response from the School Board must be provided to the project planner. In addition, no residential development application shall receive final DRC approval without proof and confirmation from the School District that the residential development is exempt or vested from the requirements of public school concurrency, or a School Capacity Availability Determination (SCAD) letter that confirms that capacity is available, or if capacity is not available, that mitigation requirements have been satisfied.
- 17) The City's Comprehensive Plan and ULDR, in compliance with state concurrency laws, requires developments that may impact mass transit services to be evaluated by the provider of those services. The applicant is advised to meet with Broward County Transit to verify availability of service, or to obtain information on any needed enhancements to assure service. Contact Noemi Hew, Broward County Transit at 954-357-8380, and provide documentation of the result of this consultation.
- 18) In regard to physical communication and radar obstructions, the FAA requires a review for interference by the proposed construction. Provide a letter from the FAA indicating that such review has been performed. FAA approval must be obtained prior to Final-DRC sign-off unless otherwise deemed unnecessary by the City Airport Manager or designee.

General Comments

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

- 19) All construction activity must comply with Sec. 24-11, Construction sites. Contact John Madden, Chief Building Inspector, at 828-5255 to obtain his signature on the final DRC plans.
- 20) Please provide total park impact fee amount due. Park impact fees are assessed and collected at time of permit per each new hotel room and dwelling unit type. An impact fee calculator can be found at: http://ci.ftlaud.fl.us/building_services/park_impact_fee_calc.htm.
- 21) An additional follow-up coordination meeting may be required to review project changes necessitated by the DRC comments. Prior to routing your plans for Final DRC sign-off, please schedule an appointment with the project planner (954-828-5265) to review project revisions and/or to obtain a signature routing stamp.
- 22) Provide a written response to all DRC comments within 180 days.

Please consider the following prior to submittal for Building Permit:

- 23) If a temporary construction/sales trailer is needed for this project, provide the details and location of the trailer on an additional site plan, to avoid additional review in the future. Ensure details and location receives approval from the Building Service Department's DRC Representative.

CITY OF FORT LAUDERDALE

DOWNTOWN MASTER PLAN DESIGN GUIDELINES

Design Review Team (DRT) Comments

Case Number:	DRT15011	Zoning District:	RAC-CC
Project Name:	1 st Ave Residences	Character Area:	Downtown Core
Project Address:	477 SW 1 st Avenue	Date of Review:	10-19-2015

PRINCIPLES OF STREET DESIGN		Meets Intent	Doesn't Meet Intent	N/A	More Information Needed
S1	Maintain fine-grained street grid: discourage vacations.			√	
S2	Utilize Traffic Calming rather than blocking streets.			√	
S3	Maximize on-street parking except on major arterials.	√			
S4	Provide adequate bike lanes in a planned network (next to on street parking: 5ft; next to travel lane: 4ft). Coordinate with Transportation and Mobility Department.				√
S5	Maximize street trees on all Downtown Streets.	√			
S6	Encourage location of primary row of street trees between sidewalk and street.	√			
S7	Maximum spacing for street trees: Palms -22ft.; Shade trees - 30 ft. Provide dimensions.				√
S8	Minimum horizontal clearance (from building face) for trees: Palms - 6ft; Shade trees - 12ft. Provide dimensions.				√
S9	Encourage shade trees along streets, palm trees to mark intersections. Remove paurotis palms from sidewalks and replace with canopy trees.		√		
S10	Eliminate County "corner chord" requirement not compatible with urban areas.			√	
S11	Encourage curb radius reduction to a preferred maximum 15ft; 20ft for major arterials. Provide dimensions.				√
S12	Discourage curb cuts on "primary" streets. Consider combining loading area with garage access.	√			
S13	Encourage reduced lane widths on all streets. Provide street section dimensions.				√
S14	Encourage reduced design speeds on all RAC streets (15 - 40 mph).			√	
S15	Encourage fixed Rights-of-Way and setbacks for all Downtown streets (to eliminate uncoordinated City setback and County easement requirements). Note: Downtown local streets have varying ROW's and section design may need to be flexible to respond to the specific ROW conditions. Provide street section dimensions.				√
S16	Bury all power lines in the Downtown Area. Provide documentation.				√
PRINCIPLES OF BUILDING DESIGN		Meets Intent	Doesn't Meet Intent	N/A	More Information Needed
B1	Framing the street: building "streetwall" should generally meet setback line (within a percentage). Provide percentage.				√

B2	Framing the street: encourage open space site requirements for use as pedestrian public space instead of unusable, leftover 'green perimeter'.	✓			
B3	Framing the street: minimum and maximum building 'streetwall' heights (see character area guidelines for specifics).	✓			
B4	Framing the street: encourage maximum building 'streetwall' length of 300ft. Provide dimensions.	✓			
B5	Preferred maximum 'floorplate' area for towers (see character area guidelines for specifics).	✓			
B6	Where towers are located on Primary (>60ft wide) and Secondary (< or = 60ft wide) Streets, the towers are encouraged to orient towards the Primary Street.	✓			
B7	Where towers are located on streets < or = 60ft, increased setbacks from the 'shoulder' are encouraged to reduce the impact on the street.			✓	
B8	Surface parking: discourage frontage and access along 'primary' street.			✓	
B9	Parking garages: encourage access from secondary streets and alleys.	✓			
	Encourage street level activities and minimize visual exposure of parking, with active space on the ground floor of a parking garage. Provide ground floor habitable space along Flagler Avenue and 4th Court. Consider placing windows in bike storage room.		✓		
	Upper floors of a parking garage should not be visible along primary streets, waterways, and parks. Active spaces on the upper floors are encouraged as a preferred design. Provide eye-level perspective of project from northwest. Provide detail of parking garage screening. Consider optimizing screening by adding green elements. Provide articulation on south wall of parking garage to enrich the landscape court. Consider open staircases and exposed elevators.				✓
B10	Encourage main pedestrian entrance to face street.	✓			
B11	Maximize active uses and 'extroverted' ground floors with retail in strategic locations.	✓			
B12	Encourage pedestrian shading devices of various types. Provide street level details of ground floor and show shading devices.				✓
B13	Encourage balconies and bay windows to animate residential building facades.	✓			
B14	In residential buildings encourage individual entrances to ground floor units (particularly in the Urban Neighborhood Character Area).	✓			
B15	High rises to maximize active lower floor uses and pedestrian-oriented design at ground floor. Provide habitable space facing Flagler Avenue and 4th Court.		✓		
B16	Building Design guidelines do not apply to Civic Buildings and Cultural Facilities.			✓	
B17	Discourage development above right-of-way (air rights).			✓	

B18	Mitigate light pollution. Provide night time rendering.				✓
B19	Mitigate noise pollution.				✓
B20	Vertical open space between towers on adjacent lots: Towers are encouraged to maintain vertical open space along side and rear lot lines: minimum horizontal distance of 30 ft (abutting property owners can coordinate tower placement as long as maintain 60 ft clearance).			✓	
B21	Vertical open space between multiple towers on a single development site: no less than 60 ft apart.			✓	
B22	Residential: Encourage minimum ground floor elevation of 2 ft above public sidewalk level for individual ground floor entrances to private units. Provide section detail and dimension.				✓
B23	Avoid drive thrus in the wrong places.			✓	
B24	The Fifth Façade: Encourage green roofs as visual amenities that provide a combination of usable, landscaped spaces (recreation & open space benefits) and sustainable roof treatments (environmental benefits). Discuss why garage roof is not fully covered.		✓		
QUALITY OF ARCHITECTURE		Meets Intent	Doesn't Meet Intent	N/A	More Information Needed
Q1	Skyline Drama: Encourage towers to contribute to the overall skyline composition. Provide night time rendering.				✓
Q2	Expressive Tops: Encourage expressive tops for tall buildings above 37 stories in Near Downtown and Downtown Core. Examples of design approaches include but are not limited to: Sculpted roof forms, terracing of uppermost levels, vertically expressive roof forms, unusually shaped roof forms, innovative 'green' elements, special materials and lighting integrated with the architecture of the building, public uses and viewing decks at upper levels.			✓	
Q3	Durability and Quality of Materials: Encourage high quality materials for the entire building, with special emphasis on detailing and durability for the first 2 floors. Provide photographic details.				✓
Q4	Respect for Historic Buildings.			✓	
Q5	Parking Podium Façades: Where structured parking must be exposed to the street, exceptionally creative solutions should be explored. Provide ground floor habitable space along Flagler Avenue and 4th Court. Consider placing windows in bike storage room. Consider optimizing screening by adding plant materials. Provide articulation on south wall of parking garage to enrich the landscape court. Consider open staircases and exposed elevators.		✓		
Q6	Response to Natural Environment: Encourage architecture to respond to the unique nature of the south Florida environment (solar orientation, wind direction, rain). Examples: Open breezeway corridors oriented toward prevailing winds; energy efficient glazing; above ground stormwater capture and re-use through bio-swales and rain gardens; solar roof panes/awnings. Explore low impact development techniques such as bio-swales and rain gardens in landscape court and where appropriate.				✓
Q7	Creative Façade Composition: Encourage a rich layering of architectural elements throughout the building, with special attention to facades below the shoulder level.		✓		

Regarding the parking garage, explore a richer materials palette, changes in material and greater articulation.					
Q8	Original, Self-Confident Design: Encourage a range of architectural styles that each create a strong identity, strive for the highest quality expression of its chosen architectural vocabulary. Care should be taken to clearly distinguish 1st Avenue Residences from New River Yacht Club and New River Yacht Club West.				✓
STORE FRONTS		Meets Intent	Doesn't Meet Intent	N/A	More Information Needed
SF1	Retail Location Strategy: Encourage ground floor retail in preferred locations.	✓			
SF2	Encourage a combination of storefront styles and types in adjacent buildings, or within single buildings, to create variety and visual interest at the street level.	✓			
SF3	Encourage durable materials for ground floor retail and cultural uses. Provide photographic details.				✓
SF4	Encourage 15 ft minimum floor-to-floor height and encourage interior ground floor flush with adjacent public sidewalk. Provide section detail and dimension.				✓
SF5	Encourage significant glass coverage for transparency and views. Encourage restaurants to provide clear visual and physical connections to outdoor seating. Meets intent except on north and west elevations.	✓			
SF6	Encourage pedestrian shading devices of various types (min 5 ft depth). Provide street level details of ground floor and show shading devices.				✓
SF7	Encourage multi-level storefront displays to disguise unfriendly uses or blank walls.			✓	
SF8	Encourage well-designed night lighting solutions. Provide night time rendering.				✓

CHARACTER AREAS		Meets Intent	Doesn't Meet Intent	N/A	More Information Needed
Downtown Core					
1A	Frame the street with appropriate streetwall heights: Shoulder: 3-9 floors, Towers: no max.	✓			
1B	Signature Tower: Special architectural design encouraged for buildings over 37 floors. Strive for dramatic and/or elegant building form with both a compelling street and skyline presence, consistent and integrated architectural details and high quality materials.		✓		
1C	Encourage slender towers to complement the skyline and provide more light and air to streets and open spaces below.	✓			
Tower guidelines: <i>Non-residential:</i> preferred 32,000GSF floorplate max. <i>Residential:</i> Buildings up to 15 floors: preferred 18,000GSF floorplate max. <i>Residential:</i> Buildings over 15 floors: preferred 12,500GSF floorplate max.		✓			
Near Downtown					
2A	Frame the street with appropriate streetwall heights: Shoulder: 3-7 floors, Non-tower option: 9 floors max with min 15ft stepback on portion over 7 floors. No max floorplate up to 9 floors.			✓	
2B	Encourage maximum building height of 30 floors.			✓	
2C	Encourage slender towers to complement the skyline and provide more light and air to streets and open spaces below.			✓	
Tower guidelines: <i>Non-residential:</i> preferred 32,000GSF floorplate max. <i>Residential:</i> Buildings up to 15 floors: preferred 18,000GSF floorplate max. <i>Residential:</i> Buildings up to 30 floors: preferred 12,500GSF floorplate max.				✓	
Urban Neighborhood					
3A	Frame the street with appropriate streetwall heights: 2 to 6 floors.			✓	
3B	Townhouses are a suitable option, especially on alley blocks.			✓	
3C	Encourage neighborhood-scaled streetscapes. Building Shoulder: 2 to 6 floors			✓	
Tower Guidelines: <i>Non-residential:</i> 8 floors max with a min 12ft stepback on portion over 6 floors: preferred 16,000 GSF floorplate max. <i>Residential:</i> 12 floors max with a min 12ft stepback on portion over 6 floors: preferred 10,000 GSF floorplate max.				✓	

TOD Guidelines (T1 Refers to Applicability to Regional Activity Center.)		Meets Intent	Doesn't Meet Intent	N/A	More Information Needed
T2 Discourage land uses that are incompatible with transit and walkability. (Refer to Sec. 47-13, Land Development Regulations.)		✓			
T3 Encourage pedestrian connections to transit stops and bike parking. Coordinate with Transportation and Mobility Department.					✓
T4 Encourage bike connections to transit stops and bike parking. Coordinate with Transportation and Mobility Department.					✓
T5 Parking consistent with TOD Principles. Encourage structured parking with screening or liner building if parking provided. Surface parking should be configured into smaller lots rather than one large lot. Surface parking discouraged except pick up/drop off within 200 feet of a Gateway Hub transit station. Parking should not face onto plaza or park space of any transit station. Include parking for mopeds, scooters, motorcycles, and other similar vehicles. Include bike/moped/scooter/motorcycle parking spaces in parking space counts.					✓
T6 Incorporate Transportation Demand Management (TDM). Encourage carpooling or vanpooling. Encourage car or bike sharing. Offer flexible hours. Provide shared parking.					✓
T7 Reduce parking to eliminate excess pavement and promote highest and best use of land within the station area. (Refer to Sec. 47-20, Land Development Regulations.) Provide calculation as to how parking count was arrived at, and justify amount.		✓			
T8 Encourage green buildings, green site design and green infrastructure. See B-24 and Q-6.					✓
T9 Create attractive, active and safe multimodal systems.				✓	
COMMENTS					
1 Discuss treatment of Flagler Drive. City is evaluating the street section. Coordinate with Transportation and Mobility Department.					
2 Provide photometric plan for upper level of parking garage.					
3					

Case Number: R15057

CASE COMMENTS:

Please provide a response to the following:

1. Residential and retail units should be pre-wired for an alarm system.
2. Residential and retail unit's entry doors should be solid, impact resistant or metal.
3. Residential units entry doors should be equipped with a quality secondary deadbolt locking system and have a 180 degree peephole or view port for security.
4. All exterior glazing should be impact resistant.
5. Ensure that private areas and residents areas doors are access controlled. This should also apply to doors from parking garage into residence access hallways.
6. All ground level stair doors should be egress only or access controlled.
7. Elevators at the ground floor should be access controlled.
8. Retail tenant employees should only have access to their respective duty areas and not to the residential tenant amenities areas; (Pool, Fitness room, etc...)
9. All mechanical, electrical and maintenance rooms should be access controlled.
10. Light reflective paint should be used in the parking garage to increase visibility and safety.
11. Emergency communication devices should be available at the pool areas, common areas and the parking garage.
12. Bicycle and building storage areas should be access controlled.
13. The site should be equipped with a comprehensive CCTV system that is capable of retrieving an identifiable image of an individual onsite. The system should cover all entry exit points, parking garage, common areas and sensitive and private areas of the site.
14. Is there going to be public or employee parking in the garage for the retail tenants?

GENERAL COMMENTS:

The following comments are for informational purposes.

It is highly recommended that the managing company make arrangements for private security during construction. Please submit comments in writing prior to DRC sign off.

Case Number: R15057

CASE COMMENTS:

Please provide a response to the following:

1. Garbage, Recycling and Bulk Trash shall be provided.
2. Recycling reduces the amount of trash your complex creates and it is the best way to reduce monthly waste disposal costs and improve your company's bottom line. Adequate space should be provided within dumpster enclosure to accommodate wheeled recycling carts.
3. Solid Waste Services shall be provided by a Private Contractor licensed by the City
4. Service Days shall be: No restriction for Commercial collection.
5. Solid Waste charges shall be collected in monthly lease with Sanitation account for property under one name.
6. Solid Waste Collection shall be on private property. Container shall not be placed, stored or block the public street to perform service (large multifamily and commercial parcels).
7. Ensure **site plan** clearly indicates (labeled) locations of all solid waste and recycling containers and/or compactor(s) for all uses as proposed in application. **Identify containers for trash and recycling.**
8. Provide on the site plan a garbage truck turning radii for City review. Drive aisle width and design configuration must allow for safe and efficient maneuverability on-site and off-site. Indicate how truck will circulate to/from/within property.
9. Consult DRC Engineering staff to ensure adequate vehicle height and width clearance, configuration for accessibility to containers, and to confirm circulation standards are met.
10. Containers: must comply with 47-19.4.
11. **Trash Room** services will be handled by private collector, or Trash Room services will be done by on-site personnel, or Trash Room services will be done custodial staff.
12. Draw equipment on plan to show location of the containers inside the trash room. *Clarify whether uses on site will utilize compactor, carts and/or dumpster.*
13. Clearly label on site plan the location of enclosure(s), dumpster(s), recycling area(s), containers, etc. as applicable relating to Solid Waste / Recycling. Indicate on plans where users' accessibility is accommodated for all container areas.
14. Submit a Solid Waste Management Plan on your letterhead containing name of project, address, DRC case number, number of units if applicable, and indicate whether is Pre or Final DRC.
 - Letter should be created on formal letterhead describing what services are to be provided for solid waste and recycling including:
 - Type and size of containers, frequency of service, service provider if known; and

- Any additional details such as: container type(s), on-site handling and logistics for waste and disposal, specific dimensions as needed (e.g. compactor side and height clearance for haulers' accessibility).
 - For this proposed site plan, please describe whether the accessibly gate that is garage-type (i.e. roll-up) or swing-type (i.e. open/close) gate.
- o This letter is to be approved and signed off by the Sustainability Division, and should be attached to your drawings. Please email an electronic copy to gmaldonado@fortlauderdale.gov. Letter should include an analysis of the expected amounts of solid waste and recyclables that will be generated (if different from current capacity), and container requirements to meet proposed capacity.
 - o Community Inspections will reference this Solid Waste Plan for sanitation compliance issues at this location.

GENERAL COMMENTS:

The following comments are for informational purposes. Please consider the following prior to submittal for Final DRC: None

Case Number: R15057

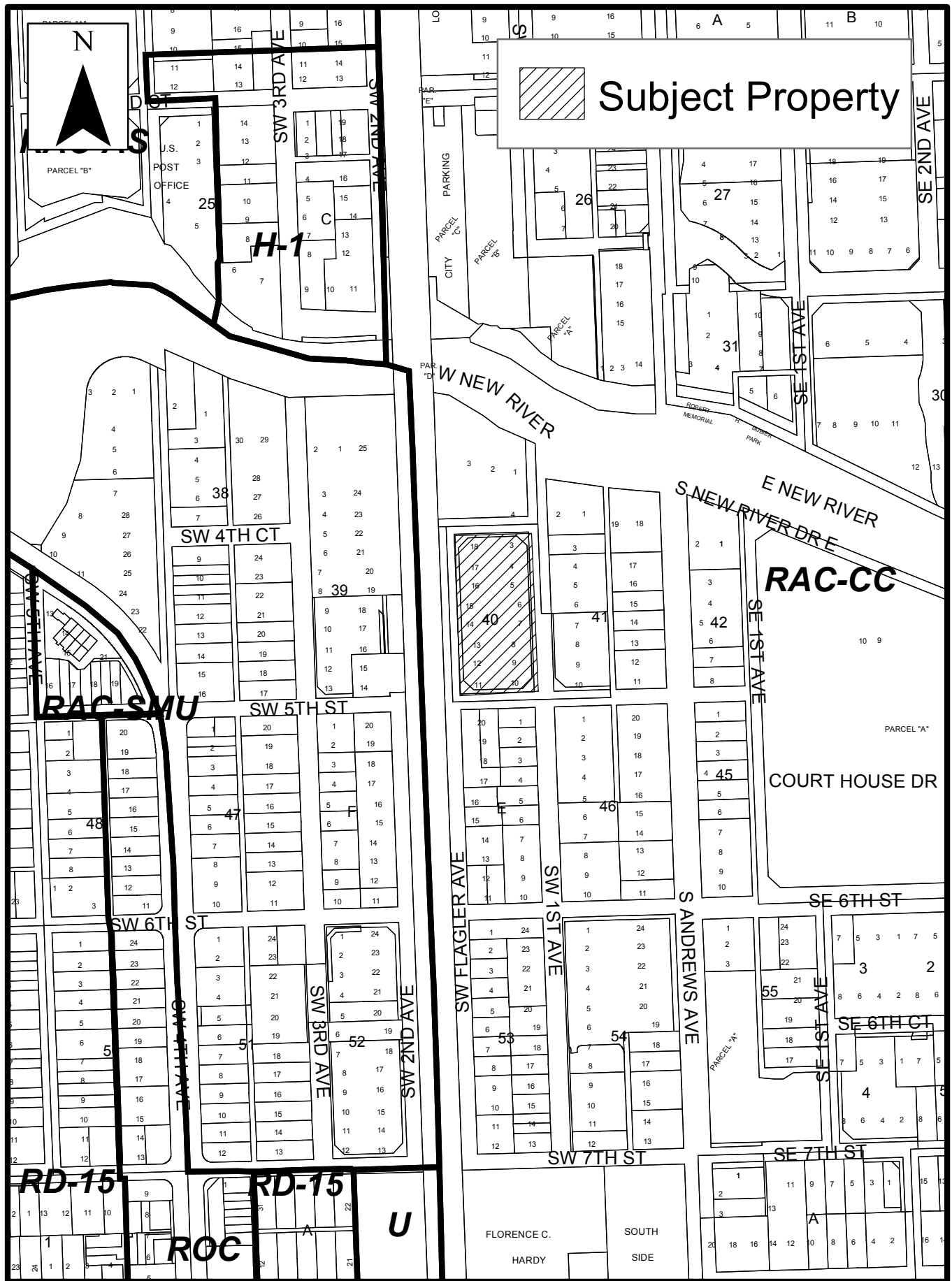
CASE COMMENTS:

1. Continue to coordinate with the Transportation and Mobility Department regarding a traffic impact study. Take into consideration that the review of this study, once submitted, will take about 4-6 weeks.
2. Bicycle parking is strongly encouraged, covered if possible with a bike pump. Consult the APBP Bicycle Parking Guidelines and Broward County End-of-Trip Bicycle Facilities Guide. Provide the minimum long term and short term bicycle parking based on requirements in the guide and include total counts on the site plan data sheet.
3. Consider implementing an onsite bike share program that can be enjoyed by residents and members of the general public alike. B-share is an example of such a program.
4. Consider installing compact car parking spaces and electric car charging stations in the parking garage and mark on the site plan and include in the site plan data sheet.
5. Please provide the total number of all on street parking spaces in the parking data table.
6. Consider reducing the number of pedestrian conflicts by consolidating ingress/egress and loading access on Flagler Dr.
7. Please show all sidewalk dimensions including pinch points on the site plan.
8. Please consider enhancing the pedestrian experience by providing interactive public art works, seating, and shade along all sidewalks to promote multimodal travel.
9. Ensure all access points, sidewalks, walkways, and curb cuts are unobstructed and ADA accessible with appropriate slopes and detectible warning devices and indicate on the site plan.
10. Additional comments may be provided upon further review.
11. Signature required.

GENERAL COMMENTS:

Please address comments below where applicable.

1. Contact Eric Houston at 954-828-5216 or ehouston@fortlauderdale.gov to set up an appointment for final plan approval.
2. The City's Transportation & Mobility Department encourages the use of sustainable materials such as permeable pavement and electric car charge stations and installation of multimodal facilities such as bicycle pump stations and bike lockers.



R15057